





### TRUST ACCOUNT DETAILS

**Seller Solicitor** HWL Ebsworth  
Lawyers

**Trust Account** HWL Ebsworth  
Trust Account

**Bank**  
Westpac

**BSB**  
034003

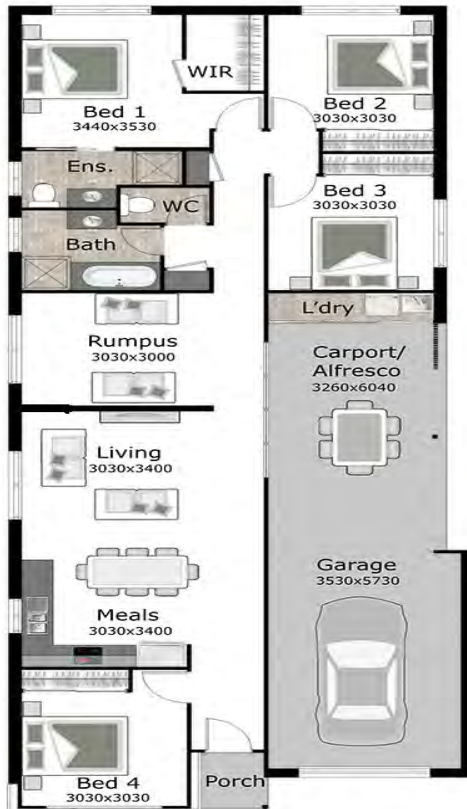
**Account**  
246634

**Swift Code**  
WPACAU2S

**Lot Reference**  
Lot No EC - Buyers Last Name

### DEPOSIT FOR LAND

**Initial Deposit**  
\$1,000 (fully refundable)



Living	126.68sqm
Garage	23.09sqm
Carport/Alfresco	19.69sqm
Porch	2.22sqm
<b>Total</b>	<b>171.69sqm</b>



Artists impressions only. Refer to working drawings and inclusions.

**ADDRESS**  
893 Stanley St East  
Woolloongabba Qld 4102

**POST**  
PO Box 1435  
Coorparoo Qld 4151

**TEL** (07) 3393 1399  
**FAX** (07) 3891 0705  
ABN 47009749142

**EMAIL**  
build@gwhomes.com.au  
gwhomes.com.au

# TURN KEY HOUSE PACKAGE MACLEAY H

## G.W Homes Specification (as at 1/06/2016)

CONTRACT DATED: .....

SIGNATURE OWNER: .....

.....

BUILDER: GW ENTERPRISES PTY LTD

PER:

### Kitchen

- Technika 600mm wall oven, hotplates and rangehood
- Dishwasher to kitchen
- 1  $\frac{3}{4}$  bowl stainless steel sinks including basket waste
- Fully lined base cabinet with 20mm stone benchtop
- Appliances available in stainless steel only
- Mixer tap to sinks
- Overhead cupboards with canopy rangehood

### Bathrooms & Ensuite

- Fully lined base cabinet with laminate benchtop
- Vitreous china vanity basins (white)
- Acrylic designer bath (white)
- Dual flush close coupled toilet suite (white) including skirting pan and enclosed trap (ceramic pan, ceramic cistern)
- Framed mirrors – above vanity benchtop
- Shower – laminated glass pivot doors and colour matched frames with tiled base
- Mixer tapware, universal shower rose and 220mm wall bath outlet
- Double towel rail and toilet roll holder to bathroom and ensuite

### Laundry

- Freestanding 45 litre tub and cabinet
- Wall mounted washing machine taps

### **Ceramic tiling** (from builders standard range)

- Wall tiles to bathroom and ensuite shower recess (refer specification for heights)
- Floor tiles to bathroom, ensuite, WC and laundry
- 1 Tile high skirting to bathroom, ensuite, WC and laundry, 600mm high splashback to kitchen and laundry tub

### **Floor Coverings** (from builder's standard range)

- Ceramic tiling to Porch, Entry, Kitchen, Living, Dining and hallway, with carpet to the balance of dwelling (excluding garage)

### **Windows & External Doors**

- Sliding aluminium windows including keyed window locks
- Entry door
- External door furniture including deadlock
- Roller blinds to windows and sliding doors
- Security screens to opening windows and sliding doors

### **Garage**

- Metal sectional panel lift garage door with remote control unit including 3 handsets and cradle. (selection of colours)
- Weatherproof hinged flush panel access door

### **Insulation**

- R2.5 Glasswool batts to ceiling of roof space only (excluding garage)
- Glasswool wall batts including sisalation to external brick veneer walls (excluding garage) and batts to wall between garage and house

### **Ceilings**

- 2430mm (overall plates) standard ceiling height

### **Electric Hot Water Service**

- Energy efficient electric heat pump hot water system

### **Roofing**

- Custom orb roof. Selection from builders range.
- Metal fascia & gutter (selection of colours)

### **Fixing**

- 42mm MDF square dressed architraves and 67mm MDF square dressed skirting
- Flush panel doors
- Passage sets and pull handles
- Hinged or vinyl sliding doors (as shown on plans)

### **Paint – 3 Coat Application**

- Low sheen acrylic to external timber work
- Low sheen acrylic to internal walls
- Flat acrylic to ceiling (white optional)
- Gloss finish to internal woodwork
- Gloss finish to front entry and internal doors

- NOTE: Walls, woodwork and ceiling to be one colour throughout (white ceilings optional)

#### Plaster

- Cornice – 90mm plaster cove

#### Foundations

- Class 'H' concrete slab (No piercing included)
- Part A termite treatment to slab penetrations and part B termite treatment to slab perimeter. As required by council

#### External

- Face brick (selected from builders standard range) with a bagged and painted front façade
- Wall mounted clothesline
- Low maintenance landscaping and lawns
- Standard exposed aggregate concrete to driveway
- Plain concrete to alfresco, path and courtyard
- Letterbox
- 1800mm high wing fencing to side of the dwelling including 900mm wide gate as per working drawing
- Perimeter fencing as per developer guidelines included (half share)
- 2 external taps

#### Electrical

- Double power points and light points as per standard electrical layout
- Safety switches (earth leakage detector)
- Smoke detectors
- Telephone point to kitchen
- 1 TV antenna servicing 2 TV points
- 1 external light point outside laundry
- Reverse cycle split system AC unit to Living/Dining room and Bed 1
- Oyster style light fittings (60 watts globe) with matt opal glass and chrome clips as nominated on drawings
- Ceiling fans to beds 1, 2,3,4,living/dining, media and alfresco (total 7)
- Power supply and conduit only for NBN connection in garage.

#### Connection Cost

- Connection of services (water, electricity, sewer, telephone, conduit and stormwater) based on 650m<sup>2</sup> blocks with 300mm fall and 5m setback. Does not include electricity telephone and NBN consumer account opening fees

#### Structural

- 6 Year structural guarantee

**COLOUR SELECTIONS** – We do it all for you!

Our team of professionals have put together a colour selection schedule that considers the very latest in industry trends and with an emphasis on timelessness and quality.

Neutral colour schemes are recommended by GW Homes to allow for appeal that last seasons and doesn't date over a short period of time.

Buyers acknowledge that they provide irrevocable authority for GW Homes to select the new homes internal and external colour schemes on their behalf.

The cost of this service is paid for by GW Homes and is provided for all buyers.

Purchaser's Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Purchaser's Signature: \_\_\_\_\_

Date: \_\_\_\_\_

## BCA COMPLIANCE

NATIONAL CONSTRUCTION CODE - NCC  
CLASS 1 AND CLASS 10 BUILDINGS - BCA VOLUME TWO

### SITE PREPARATION IN ACCORDANCE WITH BCA PART 3.1

TERMITE RISK MANAGEMENT IN ACCORDANCE WITH BCA PART 3.1.3 & AS 3660.1  
DRAINAGE - BCA 3.1.2 & AS 3500

### FOOTINGS AND SLABS IN GENERAL IN ACCORDANCE WITH BCA PART 3.2

CONCRETE IN ACCORDANCE WITH AS 3600  
SITE CLASSIFICATION AND SLAB IN ACCORDANCE WITH AS 2870  
CERTIFICATION BY STRUCTURAL ENGINEER

### MASONRY GENERALLY IN ACCORDANCE WITH BCA PART 3.3

AUSTRALIAN STANDARDS - AS 3700 & AS 4773

### FRAMING GENERALLY IN ACCORDANCE WITH BCA PART 3.4

SUBFLOOR VENTILATION - BCA 3.4.1  
MINIMUM 400MM CLEARANCE TO UNDERSIDE FRAMING  
STEEL FRAMING - BCA 3.4.2  
TIMBER FRAMING - BCA 3.4.3 & AS 1684

### ROOF AND WALL CLADDING GENERALLY IN ACCORDANCE WITH BCA PART 3.5

ROOF CLADDING - BCA 3.5.1  
GUTTERS AND DOWNPIPES - 3.5.2  
WALL CLADDING - 3.5.3

### GLAZING GENERALLY IN ACCORDANCE WITH BCA PART 3.6

AUSTRALIAN STANDARDS - AS2047 & AS 1288

### FIRE SAFETY GENERALLY IN ACCORDANCE WITH BCA PART 3.7

FIRE SPARATION - BCA 3.7.1  
SMOKE ALARMS - BCA 3.7.2 & AS 3786 - CONNECTED TO MAINS POWER SUPPLY AND INTERCONNECTED WHERE MORE THAN ONE ALARM. RECOMMENDED SEPARATE CIRCUIT  
HEATING APPLIANCES - BCA 3.7.3  
BUSHFIRE AREAS - BCA 3.7.4 & AS 3959

### HEALTH AND AMENITY GENERALLY IN ACCORDANCE WITH BCA PART 3.8

WET AREAS AND EXTERNAL WATERPROOFING - BCA3.8.1 & AS 3740  
WATERPROOFING CERTIFIED BY COMPETENT PERSON IN ACCORDANCE WITH MANUFACTURERS SPEC.  
ROOM HEIGHTS - BCA 3.8.2  
FACILITIES - BCA 3.8.3  
WC AND BATHROOM DOORS - BCA 3.8.3.3  
LIGHT - BCA 3.8.4  
VENTILATION - BCA 3.8.5  
SOUND INSULATION - BCA 3.8.6

### SAFE MOVEMENT AND ACCESS GENERALLY IN ACCORDANCE WITH BCA PART 3.9

STAIR CONSTRUCTION - BCA 3.9.1.2  
SLIP RESISTANCE OF TREADS AND LANDINGS 3.9.1.4  
LANDINGS IN ACCORDANCE WITH 3.9.1.5

BARRIERS TO PREVENT FALLS - BCA 3.9.2.2 and 3.9.2.3

HANDRAILS - BCA 3.9.4  
CONTINUOUS HANDRAIL TO ONE SIDE OF STAIR

### PROTECTION OF OPENABLE WINDOWS - BCA 3.9.2.5

BEDROOM WINDOW WHERE SURFACE IS 2000mm BELOW FLOOR LEVEL AND LOWEST PART OF OPENING IS LESS THAN 1700mm ABOVE FLOOR . PROTECT OPENING BY RESTRICTED WINDOW OPENING or SECURED SCREEN.

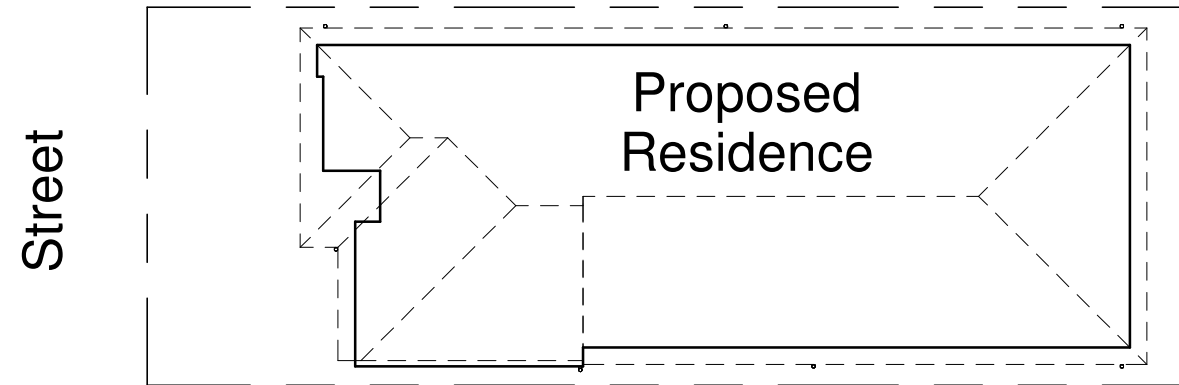
OTHER WINDOW (NOT BEDROOM) WHERE SURFACE IS 4000mm BELOW FLOOR LEVEL . PROTECT OPENING BY 865mm HIGH COMPLIANT BARRIER

### SWIMMING POOL ACCESS - BCA 3.9.3

POOL FENCING AND GATES AUSTRALIAN STANDARDS AS 1926.A & AS 1926.2  
QDC MP3.4

### ENERGY EFFICIENCY GENERALLY IN ACCORDANCE WITH BCA PART 3.12

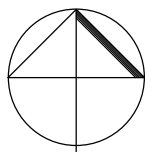
REFER ENERGY ASSESSMENT REPORT WHERE APPLICABLE



## SITE PLAN

1 : 200

LOT X  
PLAN X  
AREA Xm<sup>2</sup>  
SITE COVER



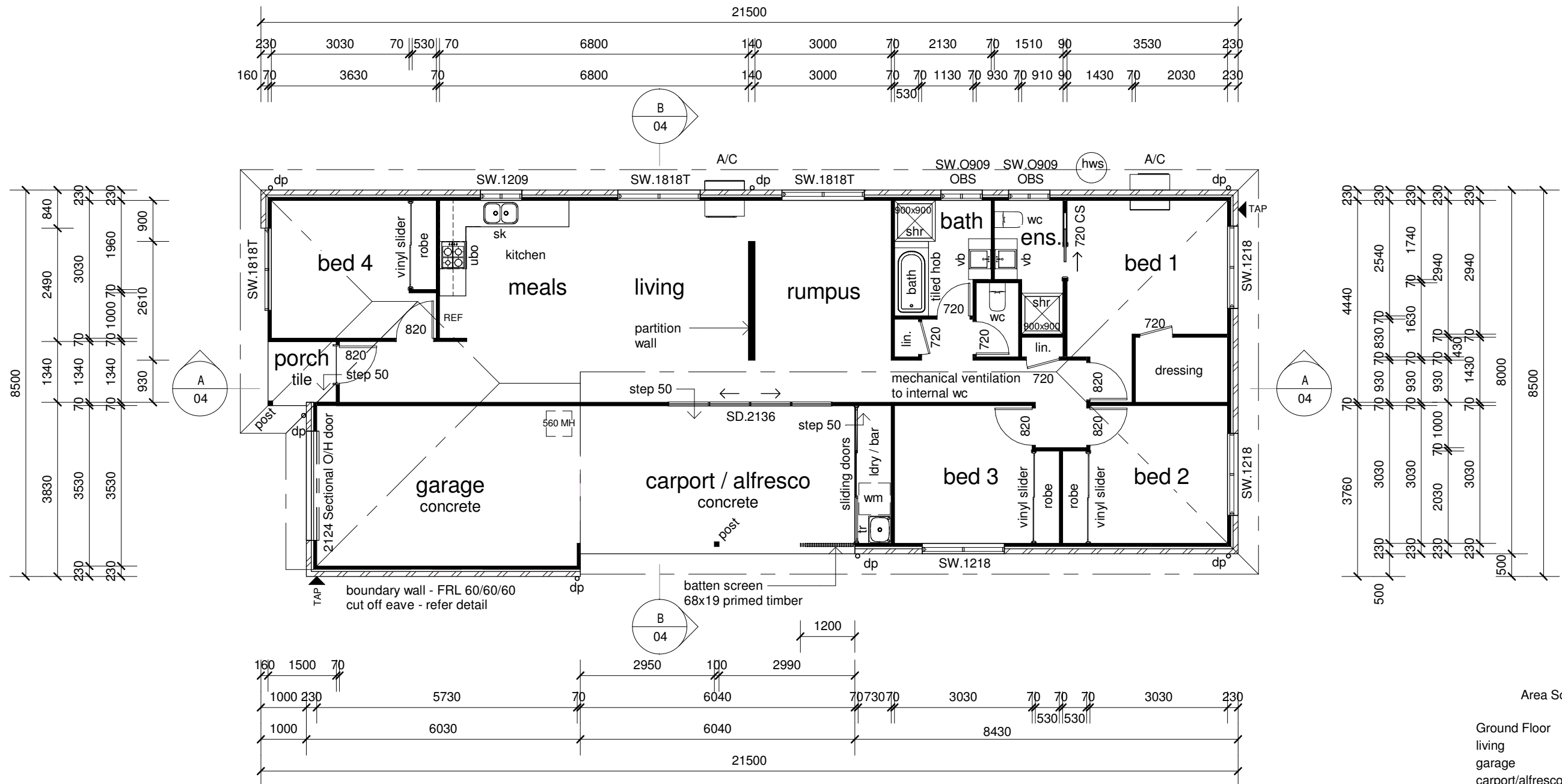


### SUSTAINABILITY NOTES

- SUSTAINABLE BUILDING REQUIREMENTS TO QDC MP 4.1 & 4.2
- ALL BUILDINGS TO ACHIEVE A MIN 6- STAR ENERGY RATING
- ROOF/ CEILING R-VALUE R4.1
- EXTERNAL WALL R-VALUE R2.8
- OUTDOOR LIVING AREA WITH CEILING FAN AND ROOF AND/ OR PHOTOVOLTAIC SYSTEM
- DUAL FLUSH TOILETS 4 STAR RATING
- AAA SHOWER ROSE & TAPWARE
- FLOURESCENT OR CFL'S TO 80% OF TOTAL FLOOR AREA
- GAS HOT WATER SYSTEM-FIVE STAR ENERGY or SOLAR HOT WATER

INSULATION -  
R2.5 GLASSWOOL BATTS CEILING OF ROOF SPACE ONLY ( EXCLUDING GARAGE )  
GLASSWOOL WALL BATTS INCLUDING SISALATION TO EXTERNAL BRICK VENEER WALLS ( EXCLUDING GARAGE ) WITH BATTS BETWEEN GARAGE AND HOUSE

CONSTRUCTION NOTES  
Nogging for CISTERN 800 c/l.  
Nogging for W/M taps 1200 c/l.  
Standard bath height 456mm top of frame.  
Nogging for LDY tub 910 c/l.  
SHR ROSE height 1850mm.  
For electrical fittings supplied by builder refer specification.



#### Area Schedule

Room	Area (m <sup>2</sup> )
Ground Floor	
living	126.68 m <sup>2</sup>
garage	23.09 m <sup>2</sup>
carport/alfresco	19.69 m <sup>2</sup>
porch	2.22 m <sup>2</sup>
<b>Grand total</b>	<b>171.69 m<sup>2</sup></b>

## FLOOR PLAN

1 : 100



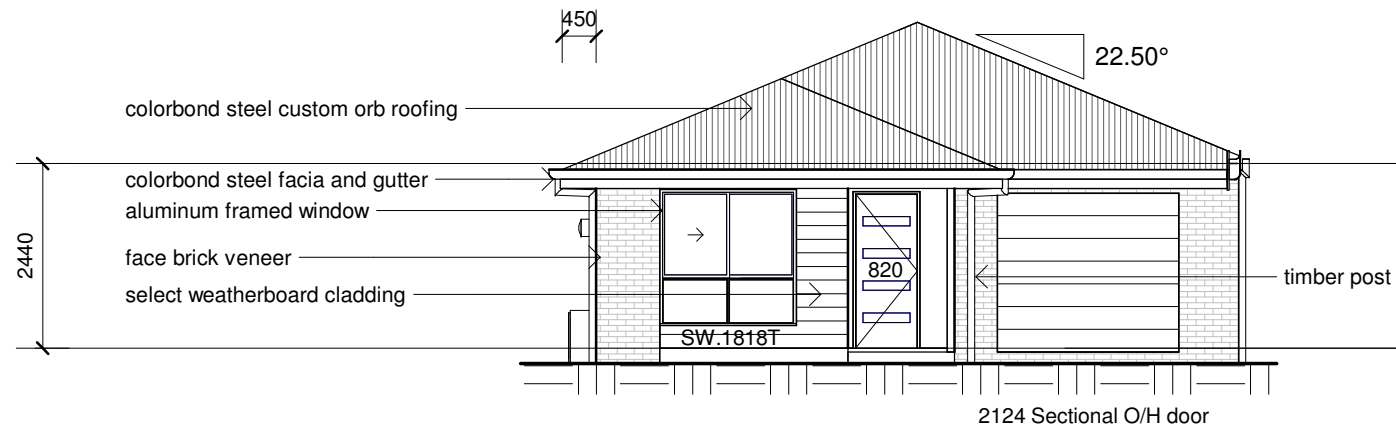
Designed better.  
Built better.

GW ENTERPRISES PTY LTD  
893 Stanley Street East  
Woolloongabba 4102  
07 3393 1399  
Fax 07 3891 0705  
gwhomes@gwhomes.com.au  
Copyright

Copyright © GW Enterprises Pty Ltd  
All rights reserved  
This drawing may not be reproduced or transmitted in any form or by any means in part or in whole, without the prior written permission of GW Enterprises Pty Ltd

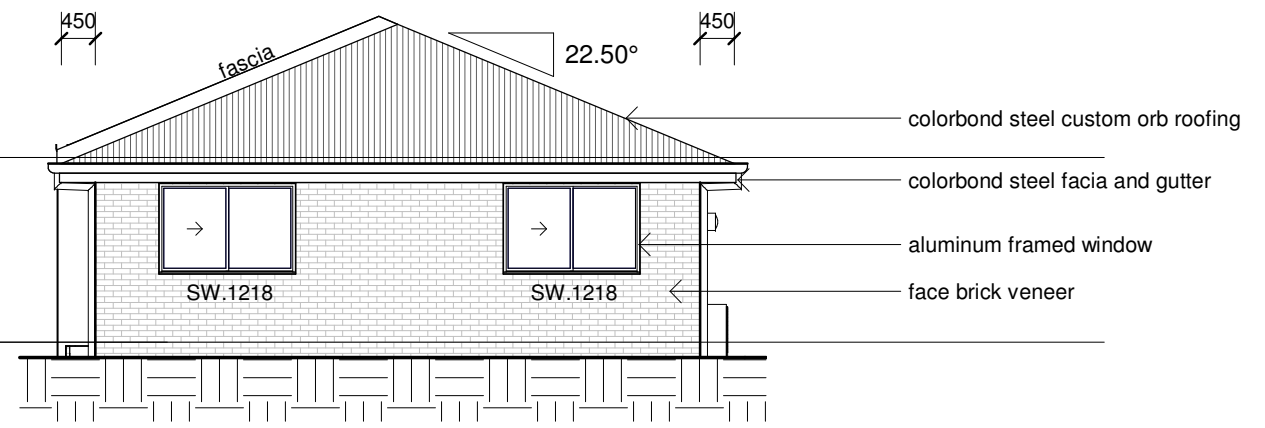
PROJECT ADDRESS  
**MACLEAY**

PROJECT  
**MACLEAY\_H**  
REV. 01 DATE 22/03/17  
SH. 02  
Engineer designed and certified pre nailed pine frame.



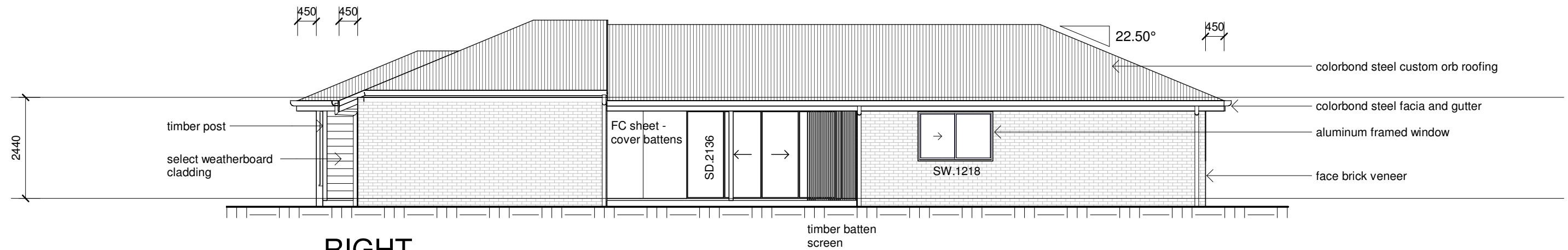
**FRONT**

1 : 100



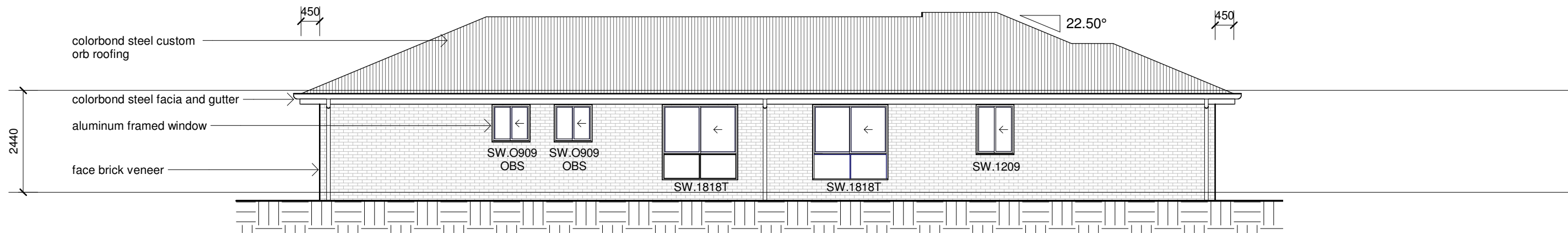
**REAR**

1 : 100



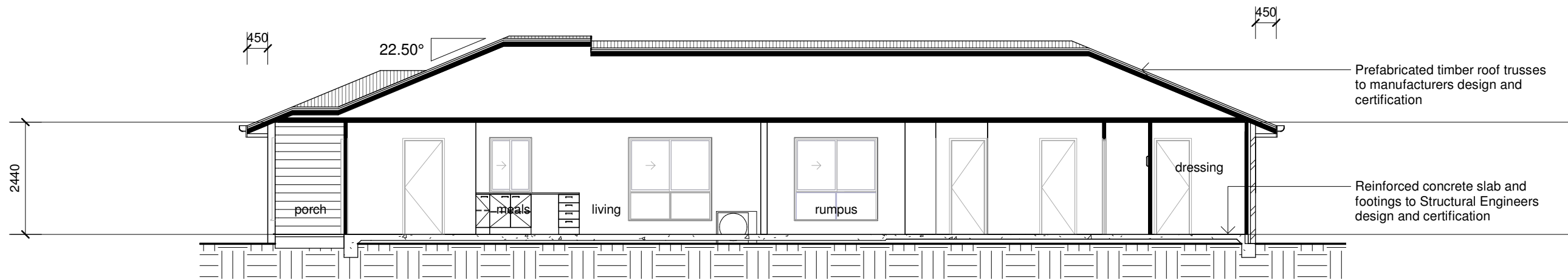
**RIGHT**

1 : 100



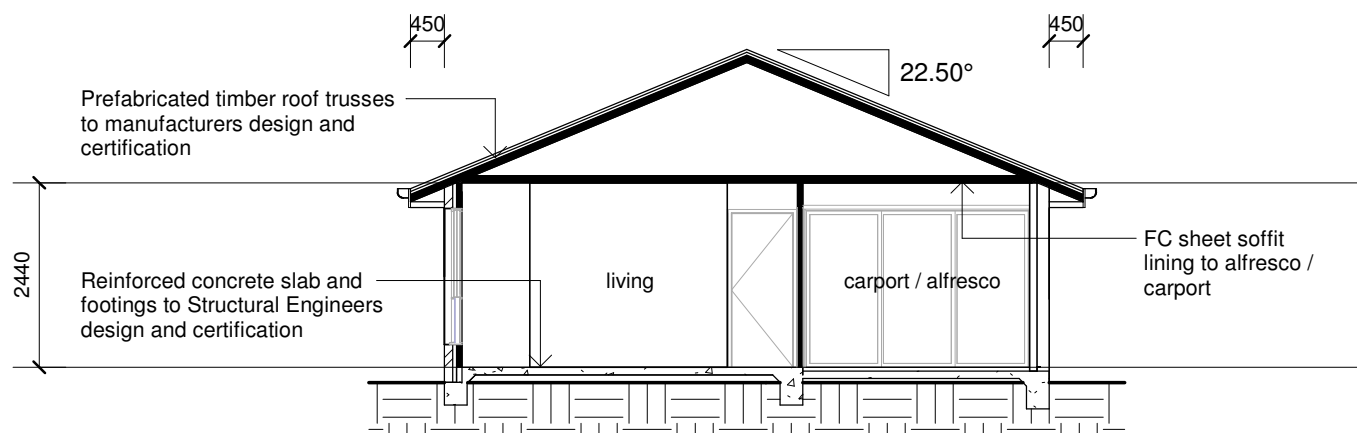
**LEFT**

1 : 100



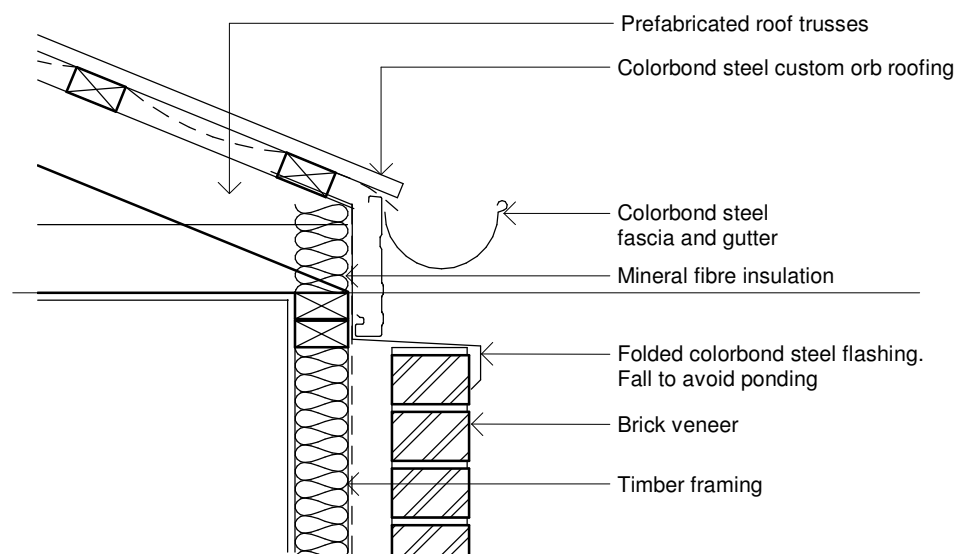
**SECTION A**

1 : 100



**SECTION B**

1 : 100



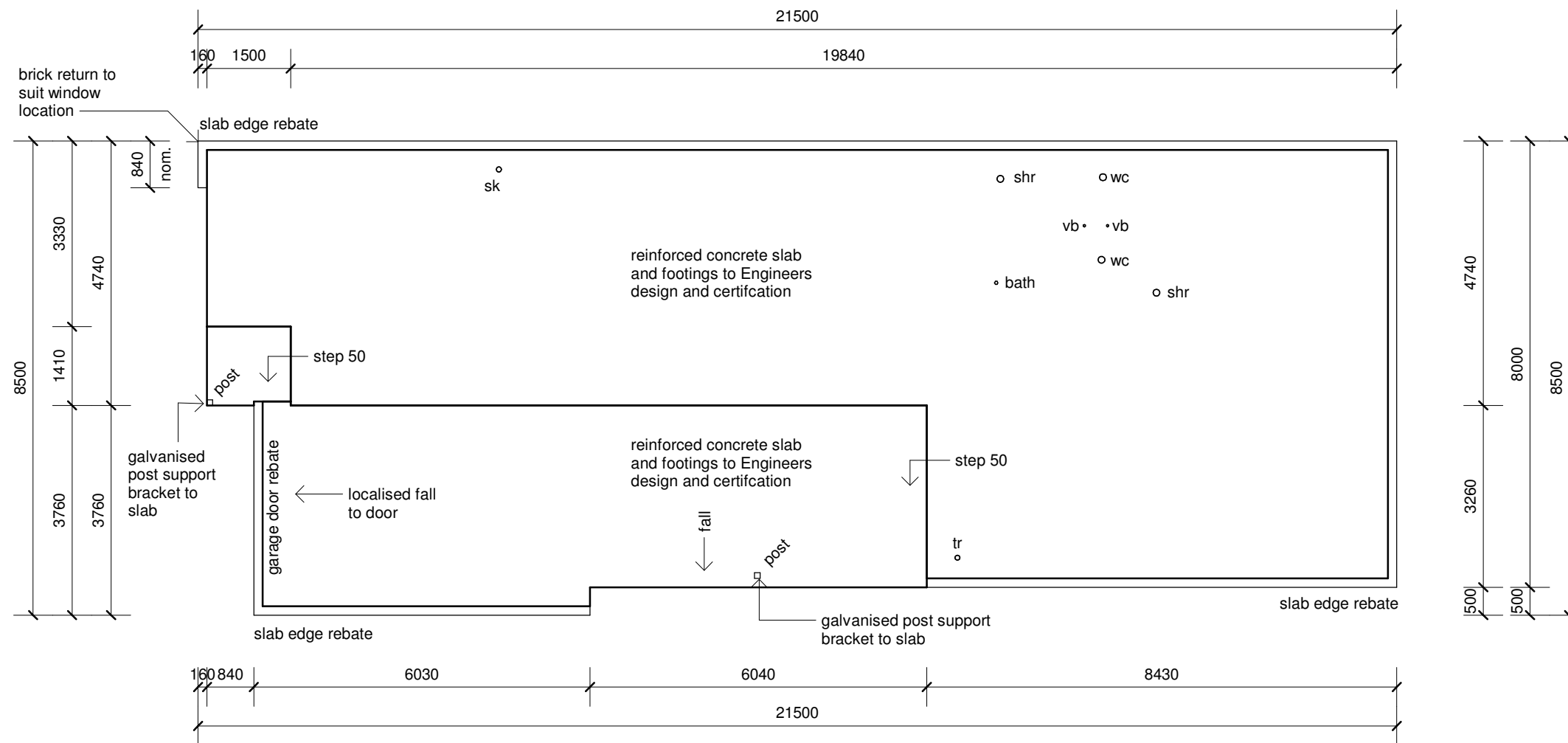
**BOUNDARY WALL**

1 : 10

**N2 TIE DOWN SHEET ROOF**

ULW TRUSSES - 4500 TRUSSES - JD4  
 ULW RAFTERS RAFTERS -  
 TRUSS SPACING - 600 crs BATTENS - HARDWOOD J2  
 RAFTER SPACING WALL FRAMING - JD4  
 BATTEN SPACING - 600 crs

JOINT TYPE	TABLE	UPLIFT FORCE	FIGURE No.	ALLOWABLE LOAD kN	TYPE
BATTENS TO TRUSSES WITHIN 1200 OF EDGE	9.14	1.0	9.25(d)	4.5	1/75 No. TYPE 17 SCREW INTO 38x75 BATTEN
GENERAL AREA	9.14	0.53	9.25(d)	4.5	1/75 No. TYPE 17 SCREW INTO 38x75 BATTEN
TRUSSES TO TOP PLATE	9.13	2.0	9.21(b)	3.5	1/FRAMING ANCHOR 4/2.8 NAILS EACH FACE
TOP PLATE TO STUD	9.13	4.0	9.19(f)	20.0	M12 RODS AT 1200 CRS OR STRAPS AT 1350 crs WITH 3/2.8Ø NAILS EACH LEG
		4.5	9.19(d)	4.7	
BOTTOM PLATE TO STUD	9.13	4.0	9.19(f)	20.0	M12 RODS AT 1200 CRS OR STRAPS AT 1350 crs WITH 3/2.8Ø NAILS EACH LEG
		4.5	9.19(d)	4.7	
BOTTOM PLATE TO TOP PLATE	9.13	4.0	9.19(f)	20.0	M12 RODS AT 1200 CRS OR STRAPS AT 1350 crs WITH 3/2.8Ø NAILS EACH LEG
		4.5	9.19(d)	4.7	
BOTTOM PLATE TO SLAB	9.13	4.0	9.19(f)	20.0	M12 BOLTS AT 1200 crs

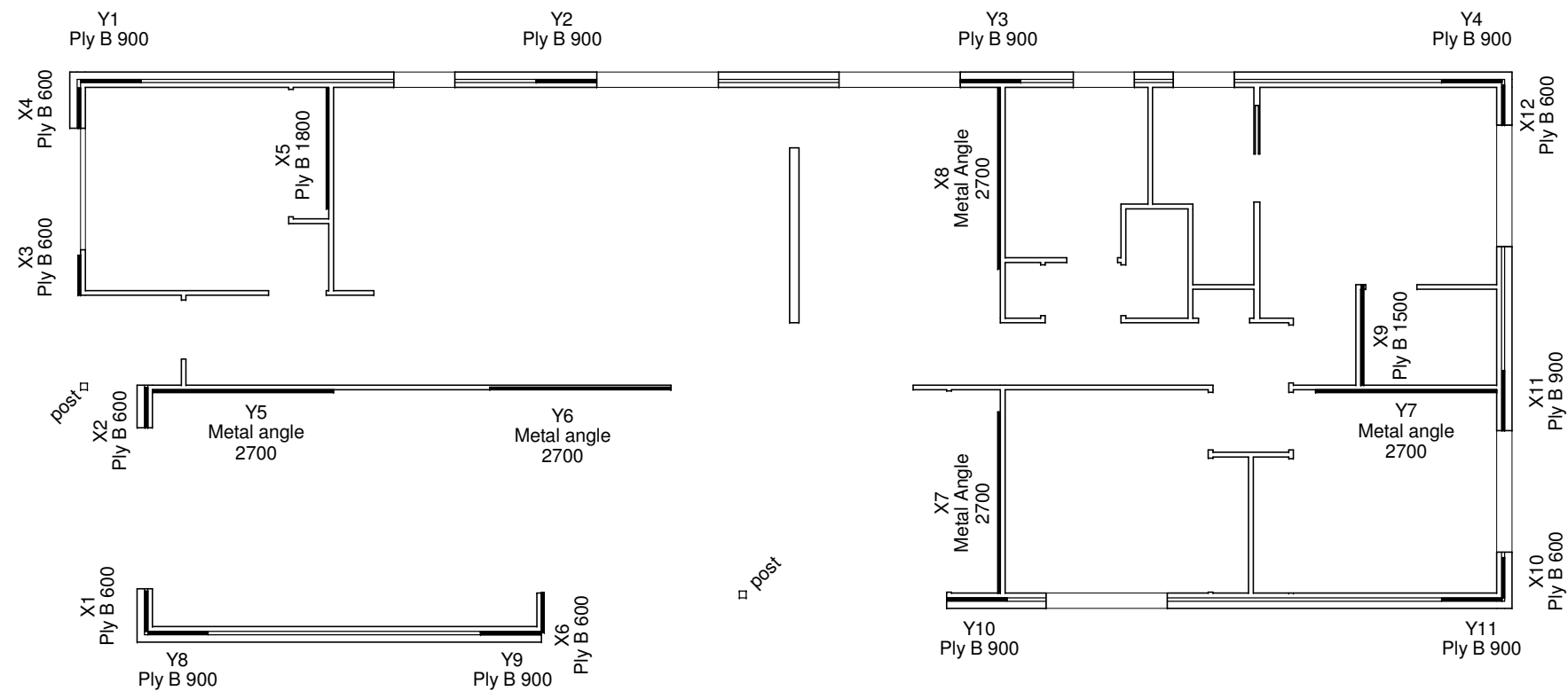


### Slab Notes

- Termite treatment Termite treatment to AS3660.11-2000.
- Monolithic slab with termite protection to penetrations and perimeter.
- M12 bolts at 1200crs. max. to perimeter and to each side of openings.
- Confirm specific plumbing fixture locations prior to slab setout

## SLAB PLAN

1 : 100



## BRACING PLAN

1 : 100

### BRACING NOTES

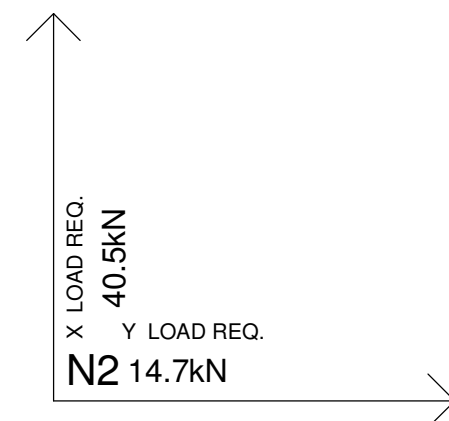
PLY BRACE to have 6mm thick F14 or better structural grade ply nailed off at 50mm crs. along top and bottom edges and horizontal butt joints at 150mm crs. along vertical edges and butt joints and at 300mm crs. on intermediate studs.  
 Nogging only required at horizontal butt joints in sheeting.  
 SHORT WALLS 800-600mm long for full design strength M12 CYCLONE RODS are required at each end of brace.

### X Wind Load resistance

Mark	Type	Res/ m	Direction X Resistance
X1	Ply B 600	3	1.8
X2	Ply B 600	3	1.8
X3	Ply B 600	3	1.8
X4	Ply B 600	3	1.8
X5	Ply B 1800	6	10.8
X6	Ply B 600	3	1.8
X7	Metal Angle 2700	1.5	4.05
X8	Metal Angle 2700	1.5	4.05
X9	Ply B 1500	6	9
X10	Ply B 600	3	1.8
X11	Ply B 900	6	5.4
X12	Ply B 600	3	1.8
			45.9

### Y Wind Load resistance

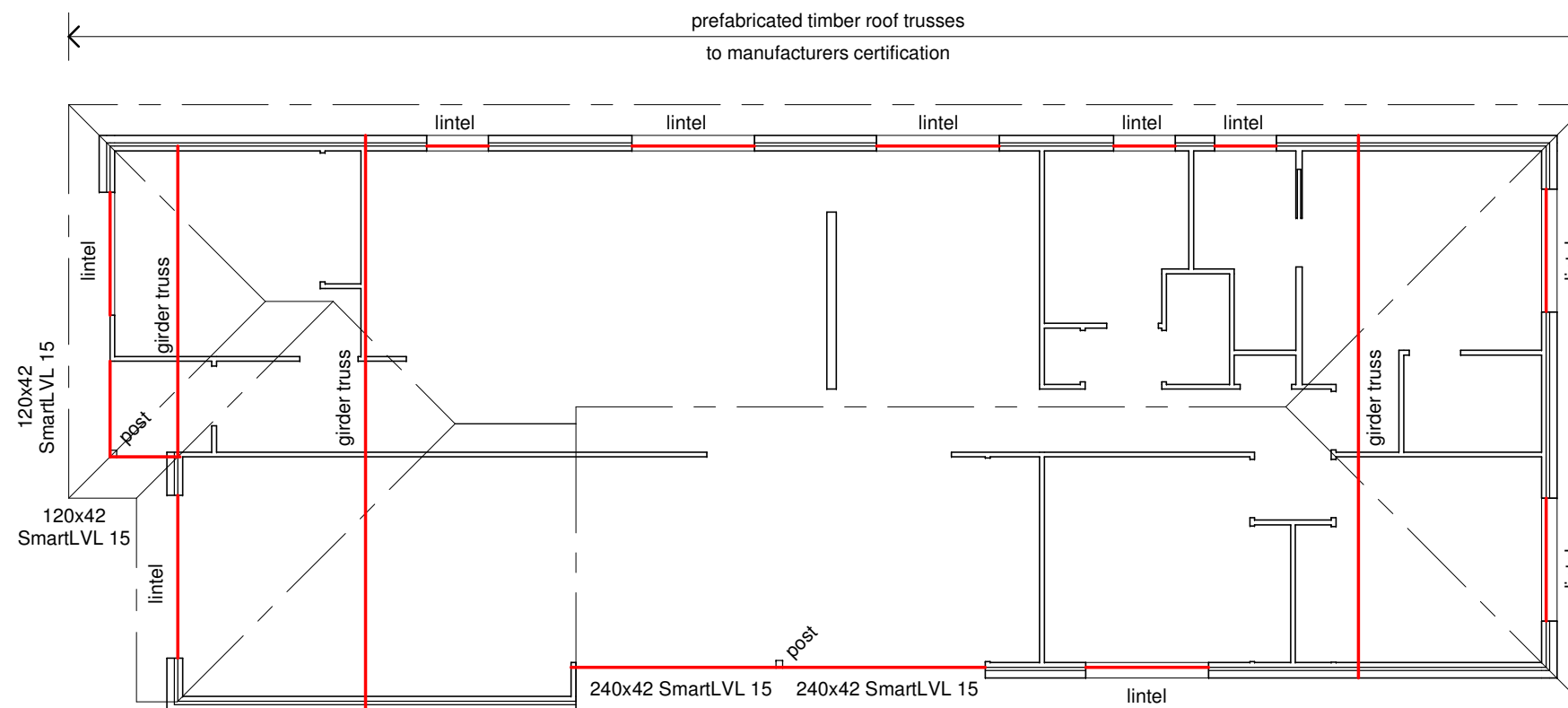
Mark	Type	Res/ m	Direction Y Resistance
Y1	Ply B 900	6	5.4
Y2	Ply B 900	6	5.4
Y3	Ply B 900	6	5.4
Y4	Ply B 900	6	5.4
Y5	Metal angle 2700	1.5	4.05
Y6	Metal angle 2700	1.5	4.05
Y7	Metal angle 2700	1.5	4.05
Y8	Ply B 900	6	5.4
Y9	Ply B 900	6	5.4
Y10	Ply B 900	6	5.4
Y11	Ply B 900	6	5.4
			55.35



## N2 TIE DOWN SHEET ROOF

ULW TRUSSES - 4500	TRUSSES -	JD4
ULW RAFTERS	RAFTERS -	
TRUSS SPACING - 600 crs	BATTENS -	HARDWOOD J2
RAFTER SPACING	WALL FRAMING -	JD4
BATTEN SPACING - 600 crs		

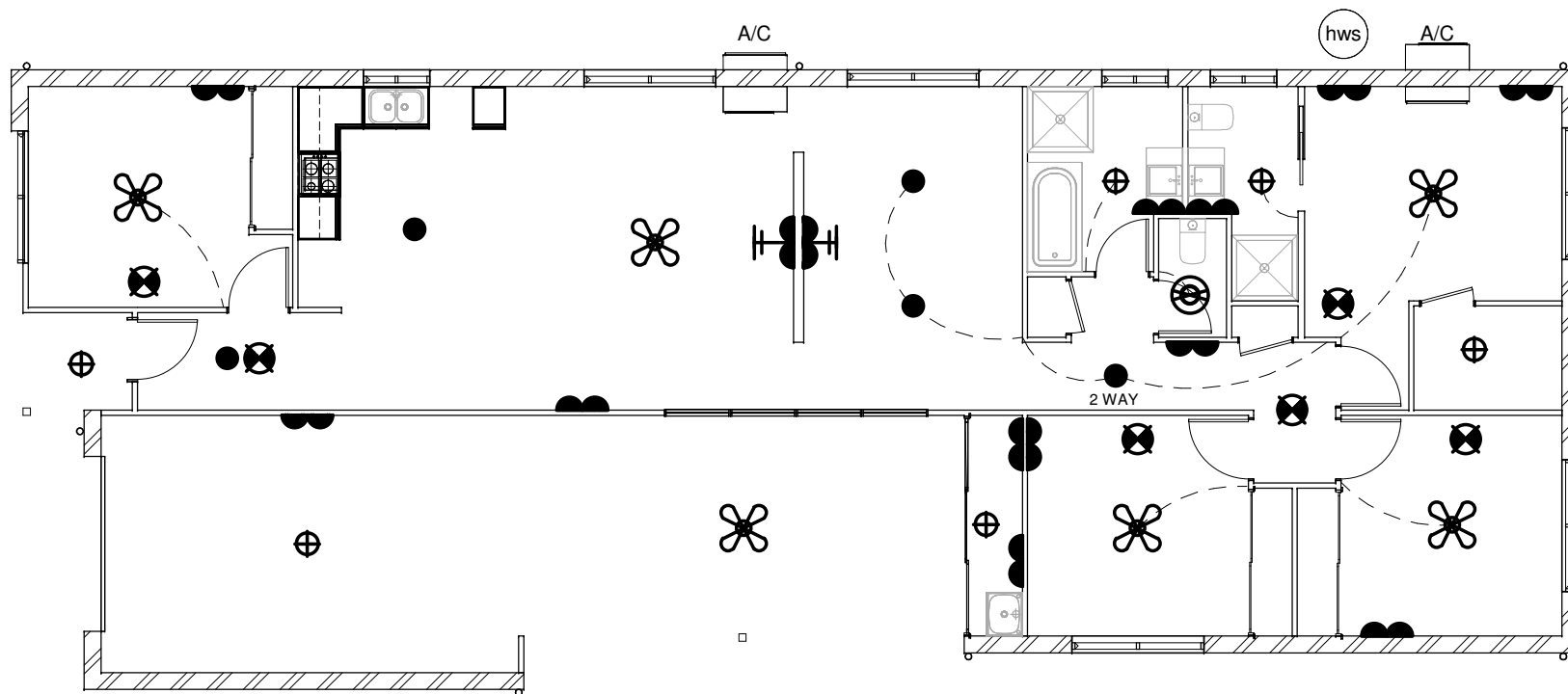
JOINT TYPE	TABLE	UPLIFT FORCE	FIGURE No.	ALLOWABLE LOAD kN	TYPE
BATTENS TO TRUSSES WITHIN 1200 OF EDGE	9.14	1.0	9.25(d)	4.5	1/75 No. TYPE 17 SCREW INTO 38x75 BATTEN
GENERAL AREA	9.14	0.53	9.25(d)	4.5	1/75 No. TYPE 17 SCREW INTO 38x75 BATTEN
TRUSSES TO TOP PLATE	9.13	2.0	9.21(b)	3.5	1/FRAMING ANCHOR 4/2.8 NAILS EACH FACE
TOP PLATE TO STUD	9.13	4.0	9.19(f)	20.0	M12 RODS AT 1200 CRS OR STRAPS AT 1350 crs WITH 3/2.8Ø NAILS EACH LEG
		4.5	9.19(d)	4.7	
BOTTOM PLATE TO STUD	9.13	4.0	9.19(f)	20.0	M12 RODS AT 1200 CRS OR STRAPS AT 1350 crs WITH 3/2.8Ø NAILS EACH LEG
		4.5	9.19(d)	4.7	
BOTTOM PLATE TO TOP PLATE	9.13	4.0	9.19(f)	20.0	M12 RODS AT 1200 CRS OR STRAPS AT 1350 crs WITH 3/2.8Ø NAILS EACH LEG
		4.5	9.19(d)	4.7	
BOTTOM PLATE TO SIAR	9.13	4.0	9.19(f)	20.0	M12 BOLTS AT 1200 crs



## BRACING PLAN

1 : 100

Prefabricated timber wall frame. Engineer designed and Certified.  
 Truss fabricator to confirm lintel sizes subject to girder truss loads.  
 Prefabricated timber roof trusses to manufacturers design and certification.  
 Truss bracing to truss manufacturers design.

















# ELECTRICAL PLAN

1 : 100

## Electrical Legend

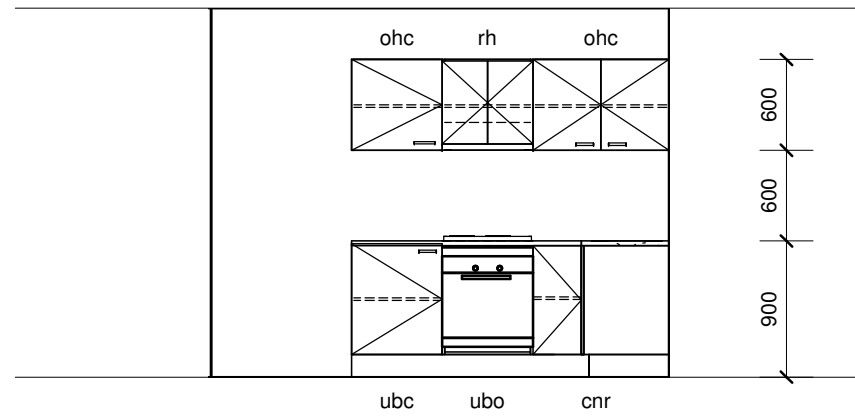
Light switches to be 1200 above

-  Ceiling Light
-  Wall Light
-  Downlight
-  Exhaust
-  Smoke
-  Ceiling
-  Ceiling
-  Phone
-  TV
-  Data
-  Meter
-  GPO Double
-  GPO Single
-  Fan/Light/Heate

ENERGY EFFICIENT LIGHTING TO BE SUPPLIED OT 80% OF FLOOR AREA

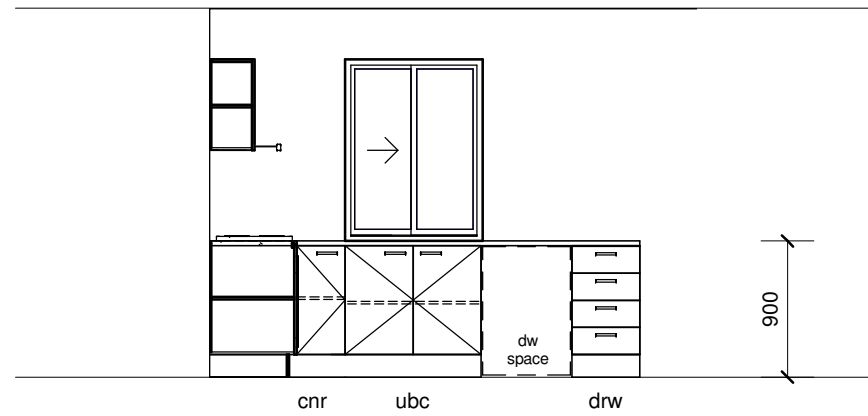
### CONSTRUCTION NOTES

- Nogging for CISTERN 800 c/l.
- Nogging for W/M taps 1200 c/l.
- Standard bath height 456mm top of frame.
- Nogging for LDY tub 910 c/l.
- SHR ROSE height 1850mm.
- For electrical fittings supplied by builder refer specification.



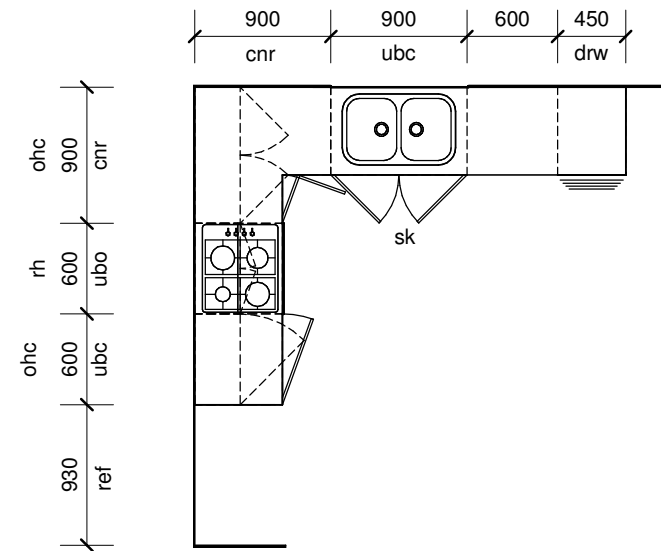
**KITCHEN VIEW 1**

1 : 50



**KITCHEN VIEW 2**

1 : 50



**KITCHEN**

1 : 50

NOTE  
 Dimensions shown will be taken to nearest practical setout size.  
 Sink position subject to sink size an type.

